



## CITY OF HAYWARD AGENDA REPORT

Meeting Date 9/11/03  
Agenda Item 1

**TO:** Planning Commission

**FROM:** Dyana Anderly, AICP, Planning Manager

**SUBJECT:** Appeal of Denial by Planning Director of Administrative Use Permit/Site Plan Review Application No. PL-2002-0268 and an Exception to the Off-Street Parking Regulations - Crossway Church (Applicant) - Request to Allow a Church at 21353 Foothill Boulevard and to Modify the Exterior Design of the Buildings at 21353 and 21311 Foothill Boulevard in a General Commercial (CG) District, and to Allow Required Parking to be Shared Between Two Adjacent Parcels

### RECOMMENDATION:

It is recommended that the Planning Commission find the project categorically exempt from CEQA review and uphold the Planning Director's denial action, subject to the attached findings.

### DISCUSSION:

The applicant is requesting to locate a church in a former furniture store at 21353 Foothill Boulevard, approximately 118 feet south of Apple Street. The project includes the conversion of retail display and storage areas into a sanctuary to accommodate 256 worshipers, 9 classrooms, 5 offices, a nursery, and ancillary rooms. The parcel contains space for seven parking stalls.

The adjacent parcel to the north (21211 Foothill), which is under separate ownership, is currently developed with a church. The owner of this parcel intends to convert the church to an assembly area for Bible study purposes and for a Sunday school. This building will function as an annex to the proposed church building at 21353 Foothill. This parcel contains space to accommodate 11 parking stalls.

The administrative use permit application includes a request to remodel the exteriors of both structures, landscape both parcels, and re-stripe the parking lots for joint use. On-street parking to accommodate approximately three vehicles is available along the Apple Street frontage. There is no bus stop in front of the site.

The proposed parking on the combined parcels totals 18 stalls. In addition, 80 parking stalls that are associated with the office buildings across Apple Street are currently available to church members on Sundays, holidays and evenings. The 80 parking stalls are in Alameda County, outside the City's jurisdiction. The City's Off-Street Parking Regulations allow for required parking to be met by providing nearby off-site parking, subject to the approval of an administrative use permit. Last year Alameda County granted a use permit to allow parking for the church to be shared with the offices, but the permit was granted for only a five-year period.

A church in the General Commercial District requires approval of an Administrative Use Permit, and on July 23, 2003, the Planning Director denied the Administrative Use Permit application for Crossway Church. The denial action was based on the significant intensification of the use of the building coupled with inadequate on-site parking and the uncertainty involved with the proposed parking arrangements on the adjacent and remote parking lots. (There would be no irrevocable covenants to guarantee the availability of off-site parking in perpetuity.) While it is possible to grant an administrative use permit for the church for a time period coincident with the guaranteed availability of off-site parking, limiting the church to a five-year period would be unrealistic given the substantial physical improvements to the buildings and land involved.

On July 30, 2003, the applicant appealed the Planning Director's decision. In the appeal letter, attached as Exhibit B, the appellant indicates that there would be adequate parking available to members of the church, that the peak hours for church-related parking do not coincide with those of the area, that the proposed physical improvements meet the City's design standards, and that the parking demand for a church is less than for other commercial entities that could occupy the building.

The City of Hayward's Off-Street Parking Regulations require an *additional* 42 parking stalls for the proposed church, and there is no space on the property to accommodate additional parking stalls. The Off-Street Parking Regulations state,

*At the time a new use is established in an existing building, where a major change of use or expansion in the existing use is involved for any lot structure, or building, except in the Central Parking District, additional parking shall be provided for the new use based on the difference between the parking requirements for the new use [51] as set forth in this article and the parking requirements for the prior use [9]. For purposes of these requirements, 'major change of use' shall mean a change of use that would increase the number of parking spaces or loading berths required by at least 25 percent or by at least 10 parking spaces, whichever is greater. [Numbers in brackets added by staff.]*

The parking requirement for the proposed church is 42 parking stalls in addition to the 9 stalls existing on the parcel. If another furniture store (or similar use) were to reoccupy the building, no additional parking would be required. If an office building were to occupy the building, 46 parking stalls would be required; and if a retail establishment characterized by hand-carried merchandise were to occupy the building, 42 additional parking stalls would be required.

In the event of approval of a use permit, such conditions may be imposed as may be reasonably necessary to assure that the use will occur in maximum harmony with the area. These conditions may include a requirement for additional parking over and above the 42 spaces required by the Off-Street Parking Regulations, which is reasonable given the capacity of the church and the ancillary building.

In August 2002, Alameda County approved a use permit to allow the church to use a parking lot on the north side of Apple Street for a 5-year period; and in June 2003, the property owner of the adjacent corner parcel signed a 10-year agreement to allow joint parking. Pedestrians traveling

from the remote lot to the church would have the benefit of sidewalks and a signalized intersection. However, it was due to the uncertainty and the lack of a guarantee associated with these parking arrangements that the Planning Director denied the administrative use permit.

**Environmental Review:**

Environmental review is not required when a project is denied. If the Planning Commission were to determine that approval of the church would be appropriate, staff should be directed to perform appropriate environmental review of the project, which would include a finding that there is adequate parking available to church members.

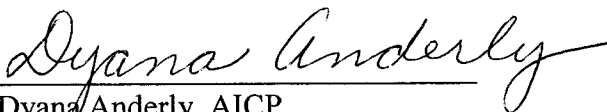
**Conclusion:**

If the Planning Commission is supportive of the administrative use permit, staff should be directed to bring back the project with an analysis of environmental impacts, the site plan review aspects of the application, and related findings and conditions of approval. If the Planning Commission upholds the Planning Director's denial action, the appellant could appeal the Planning Commission's decision to the City Council.

**Public Notice:**

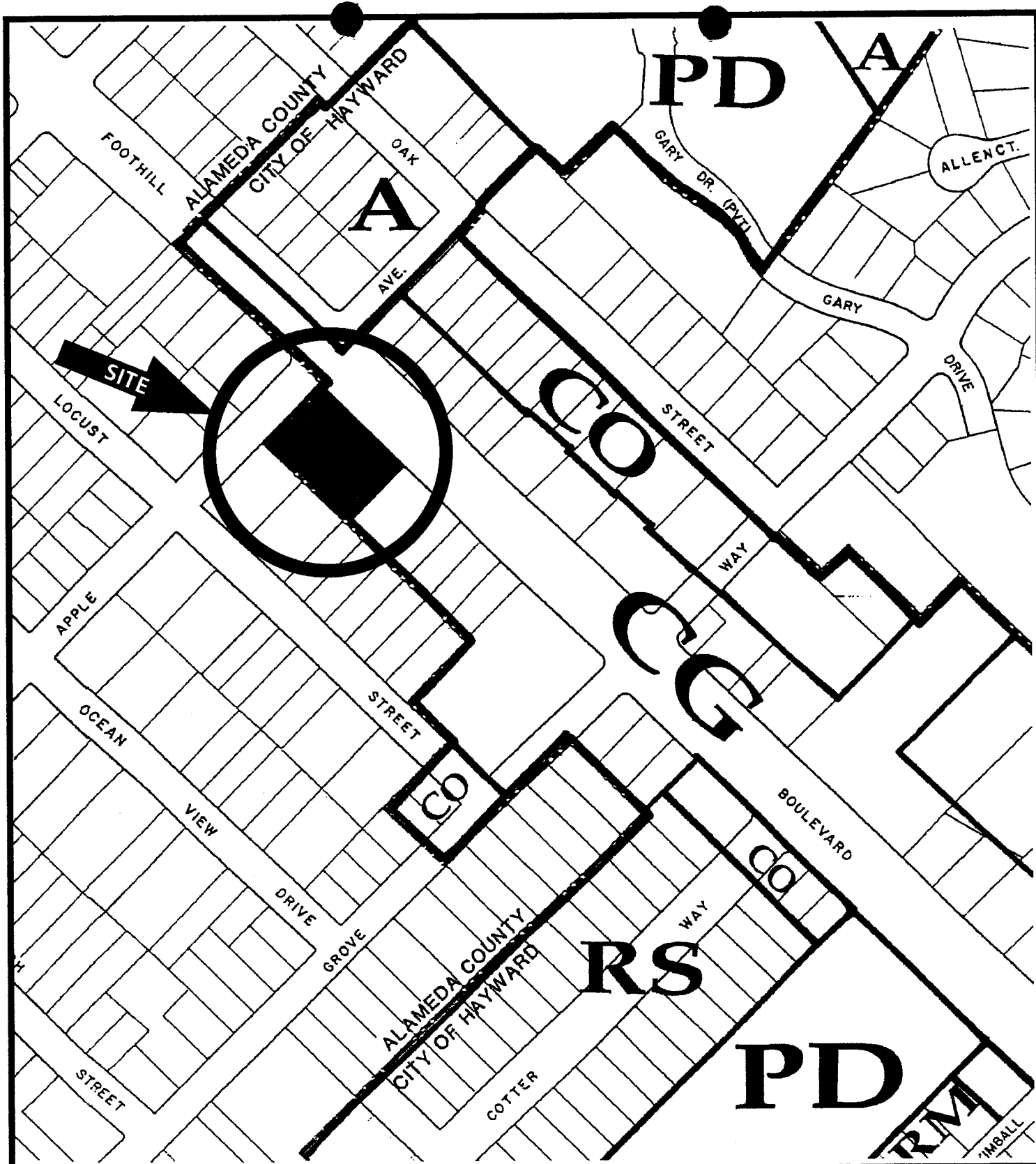
On August 28, 2003, a Notice was mailed to every property owner and occupant within 300 feet of the subject site, as noted on the latest assessor's records. Notice was also provided to the former members of the North Hayward Neighborhood Task Force. No responses were received from the notice.

Prepared by:

  
Dyana Anderly, AICP  
Planning Manager

**Attachments:**

- A. Area Map
- B. Appeal Letter
- C. Findings for Denial of the Administrative Use Permit  
Plans



### Area & Zoning Map

PL-2002-0268 AUP

Address: 21353 Foothill Blvd.

Applicant: Crossway Church

Owner: Crossway Church

A-Agricultural

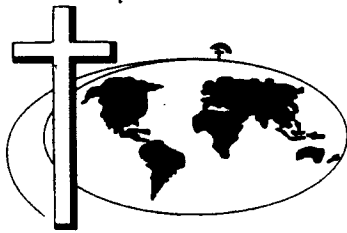
CG-General Commercial

CO-Commercial Office

PD-Planned Development

RM-Medium Density Residential,RMB3.5,RMB4.

RS-Single-Family Residential,RSB4,RSB6



미주한인예수교 장로회

**크로스웨이 교회** *Crossway Church*

21313 Foothill Blvd. • Hayward, CA 94541 • 담임목사 : 안민성  
(510) 481-2490 • (510) 581-5514 • 사택 (510) 888-9629

Date: July 30, 2003

City Of Hayward  
Director of Planning Department  
777 'B' Street,  
Hayward, CA. 94541

**RECEIVED**

AUG 04 2003

PLANNING DIVISION

**RE: Administrative Use Permit # PL-2002-0268**  
**21353 Foothill Boulevard.**

Dear Mr. Emura,

Crossway Church is in receipt of your letter dated July 23<sup>rd</sup>, 2003, and noted the contents respectively.

The church highly appreciates all the professional help you have given to us to date. We are saddened to hear that after all the efforts we put into the project to enhance and meet the city's requirements, the Director of Planning has denied our application on the grounds of not being able to ensure long-term offsite parking under the authority of another jurisdiction.

We respectfully would like to inform you of our decision to appeal the Planning Directors administrative denial of our application to the Planning Commission, for the following reasons;

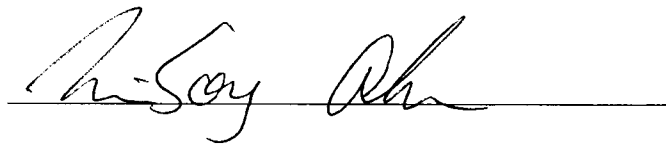
- a. Additional offsite parking for the church has been approved by the County for a term of 5 years and upon the expiration of the term, an additional 5 year term will be granted by the County. It is the County's by-law that additional terms can be extended upon the expiration of the first term i.e. every 5 years.
- b. The main entrance of the Church is located at 310'-3" along a traversable pedestrian route from the farthest offsite parking space as required by the code (SEC.10-2.402). Also the offsite parking facility is located on Apple Street which is a Secondary street in comparison to Foothill Blvd which is the main thoroughfare.
- c. Traffic will be less impacted, since the facility's usage is during **NON-PEAK** hours.
- d. The location of the offsite parking area including the building structure is owned by the Mr. Jay H. Ku, who is the Elder of the church. One of the reasons Mr. Jay H. Ku purchased the property where the offsite parking is located, was to utilize the parking during NON-PEAK hours by the church Congregation.

**ATTACHMENT B**

- e. A lease has been signed between Crossway Church and Mr. Jay H. Ku for a term of 10 (ten) years for the utilization of the offsite parking structure by the church and an option to be agreed for a further period to be determined if needed.
- f. Crossway Presbyterian Church has diligently met ALL the façade and landscaping improvements required by the planning department for improving entry way into the city.
- g. If other primary businesses were to occupy this building in question, improving the façade would not be required. Secondly, instead of Church use, if a primary business were to occupy the space, the planning department would require 66 parking stalls instead of 51 parking stalls for Church assembly.(SEC. 10-2.230 and SEC. 10-2.340)

Crossway Church respectfully submits that if the use of the facility for assembly purposes is approved it will serve its congregation and property improvement will also enhance and beautify the city and improve the traffic along its busy thoroughfare.

Respectfully,

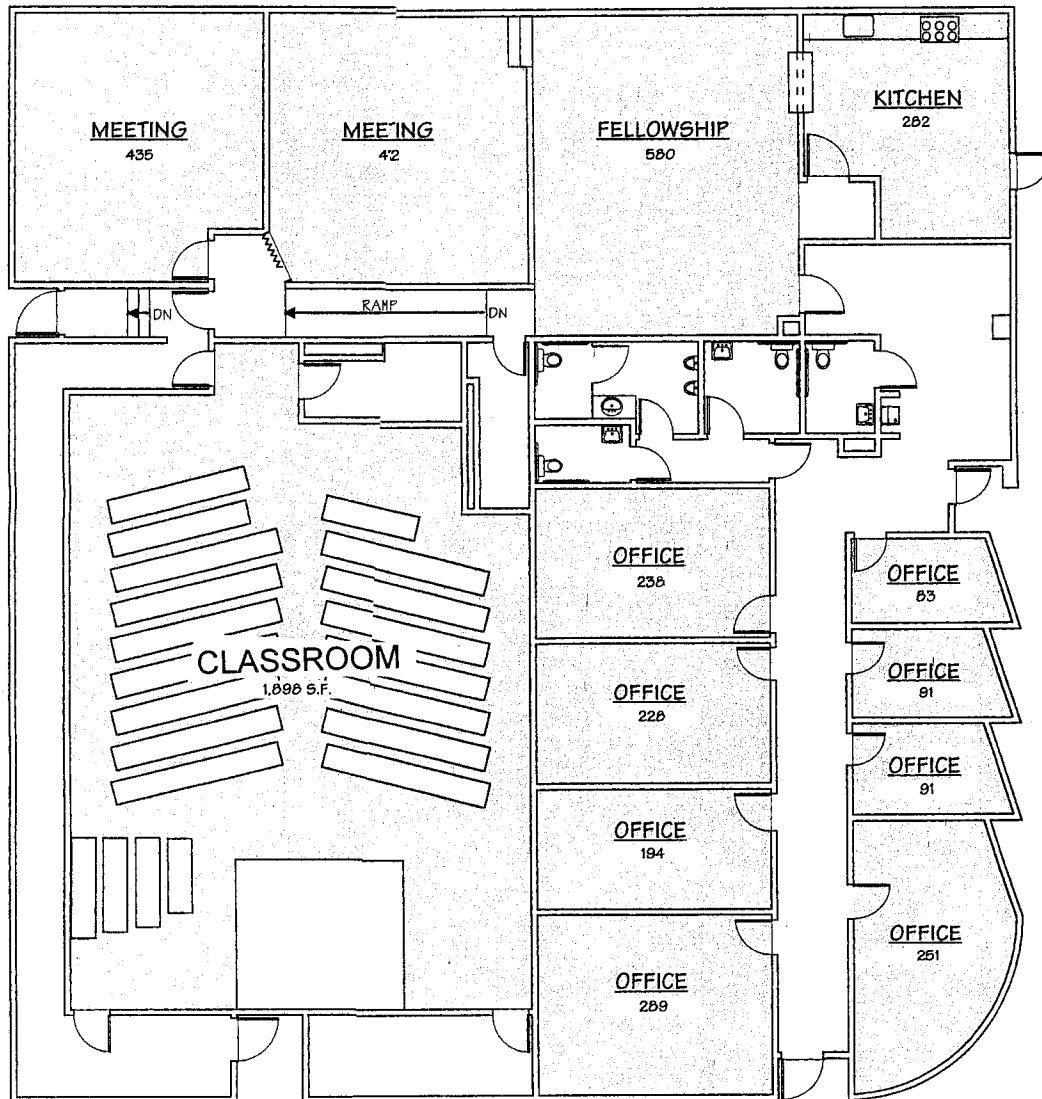
A handwritten signature in black ink, appearing to read "Min Song Ahn", is written over a horizontal line.

Min Song Ahn  
Senior Pastor

**Findings of Denial**  
**Administrative Use Permit/Site Plan Review Application No. 2002-0268**  
**Crossway Church - Applicant**

Request to Convert a Former Furniture Store to a Church,  
to Remodel Two Buildings,  
and for Joint Use of a Parking Lot  
21353 and 21211 Foothill Boulevard

- A. That the proposed church is not desirable for the public convenience or welfare due to the uncertainty of the availability of parking associated with the parking demands of the church;
- B. That the proposed church will impair the character and integrity of the General Commercial zoning district and surrounding area due to the uncertainty of the availability of parking associated with the demands of the church;
- C. That the proposed church will be detrimental to the public health, safety, or general welfare due to the uncertainty of the availability of parking associated with the demands of the church; and
- D. The proposed church is incompatible with the City of Hayward Off-Street Parking Regulations related to off-site parking in that there is no guarantee that parking will be available on a long-term basis.



APPLE ST

FOOTHILL BLVD.

# **FLOOR PLAN**

APPROXIMATE FLOOR AREA: 6,743 SQ. FT.





# PROPOSED EDUCATIONAL BLDG. REMODEL FOR CROSSWAY CHURCH

21353 FOOTHILL BLVD

HAYWARD, CALIFORNIA 94541

REVISION:	DATE:



3335 SELDON CT.  
FREMONT, CA.  
TEL: (510) 823-7100  
FAX: (510) 248-9810  
www.RegencyGC.com

MAP	PROJECT DATA	REFERENCE SYMBOLS	INDEX OF DRAWINGS		
			SHT. No	DWG. No	DESCRIPTION
AP	<p><b>LOCATION:</b> 21353 FOOTHILL BLVD. HAYWARD, CA.</p> <p><b>LOT AREA:</b> 13,330 SF (NEW CHURCH BLDG. ONLY)</p> <p><b>PARKING REQD:</b> ASSEMBLY ROOM AREA: 3,718 SF/100 = 37 PS REQD.</p> <p>256 SEATS @ 22" = 469' - 4"</p> <p>469' - 4" / 22" = 256 OCCUPANTS</p> <p>256 OCC./5 = 51 &gt; 37</p> <p>THEREFORE: 51 PS REQUIRED</p> <p><b>PROVIDED:</b></p> <p>EXISTING BUILDING</p> <p>10 STANDARD</p> <p>5 COMPACT</p> <p>2 ACCESSIBLE</p> <p>1 BICYCLES (4)</p> <p>CHURCH BUILDING</p> <p>2 STANDARD</p> <p>2 ACCESSIBLE</p> <p>ON SITE SPACES PROVIDED</p> <p>OFF SITE SPACES PROVIDED</p> <p>TOTAL SPACES PROVIDED</p> <p>22 = 43 % REQD. PARKING</p> <p>80</p> <p>102</p> <p><b>BUILDING AREA:</b></p> <p>NUMBER OF STORIES TWO</p> <p>EXISTING SQUARE FOOTAGE</p> <p>MAIN FLOOR 6,520 SF</p> <p>UPPER FLOOR 4,497 SF</p> <p>TOTAL 11,017 SF</p> <p>CONSTRUCTION TYPE V-1HR, CONSTRUCTION</p> <p>OCCUPANCY A-3, E</p> <p><b>GARBAGE:</b></p> <p>CONTAINER SIZE REQUIRED:</p> <p>NO. OF EMPLOYEES 5</p> <p>LBS. OF REFUSE PER WEEK 21</p> <p>FORMULA: 5 X 21/ 150 = 1 CY PER WEEK</p> <p>MINIMUM REQUIREMENTS: 2 CONTAINERS @ 7' LENGTH X 3.5' WIDTH X 4' HT.</p> <p>ENCLOSURE SIZE (INTERIORS): 15' LENGTH X 6' WIDTH X 5' HT.</p>	<p><b>SYMBOL DESCRIPTION</b></p> <p> SECTION NUMBER BUILDING SECTION</p> <p> DRAWING NUMBER SECTION APPEARS ON</p> <p> 759'-0" HEIGHT IS BASED ON ACTUAL HEIGHT ON TOPOGRAPHIC MAP ELEVATION REFERENCES</p> <p> ELEVATION NUMBER EXTERIOR ELEVATION</p> <p> DRAWING NUMBER ELEVATION APPEARS ON</p> <p> DETAIL NUMBER DETAIL SYMBOLS</p> <p> DRAWING NUMBER DETAIL APPEARS ON</p> <p> ELEVATION NUMBER INTERIOR ELEVATION</p> <p> DRAWING NUMBER ELEVATION APPEARS ON</p> <p> SECTION NUMBER WALL SECTION</p> <p> DRAWING NUMBER SECTION APPEARS ON</p> <p> WINDOW NUMBER &amp; TYPE</p> <p> DOOR NUMBER &amp; TYPE</p> <p> ROOM NUMBER</p> <p> WATER HEATER</p>			
		<p><b>MATERIAL SYMBOLS</b></p> <p> RIGID INSULATION</p> <p> BATT INSULATION</p> <p> PLASTER</p> <p> CONCRETE (LARGE SCALE)</p> <p> CONCRETE (SMALL SCALE)</p> <p> CONCRETE MASONRY</p> <p> WOOD (BLOCKING)</p> <p> GLASS (LARGE SCALE)</p> <p> WOOD FINISH</p> <p> PLYWOOD</p> <p> METAL (LARGE SCALE)</p> <p> METAL (SMALL SCALE)</p> <p> GYPSUM WALL BOARD</p> <p> GLASS (SMALL SCALE)</p> <p> INFILL CONCRETE</p>			

PROJECT TITLE:

PROPOSED EDUCATIONAL BLDG. REMODEL  
FOR CROSSWAY CHURCH

PROJECT LOCATION:  
21353 FOOTHILL BLVD. HAYWARD CA 94541

SHEET TITLE:

COVER SHEET/ INDEX OF DRAWING

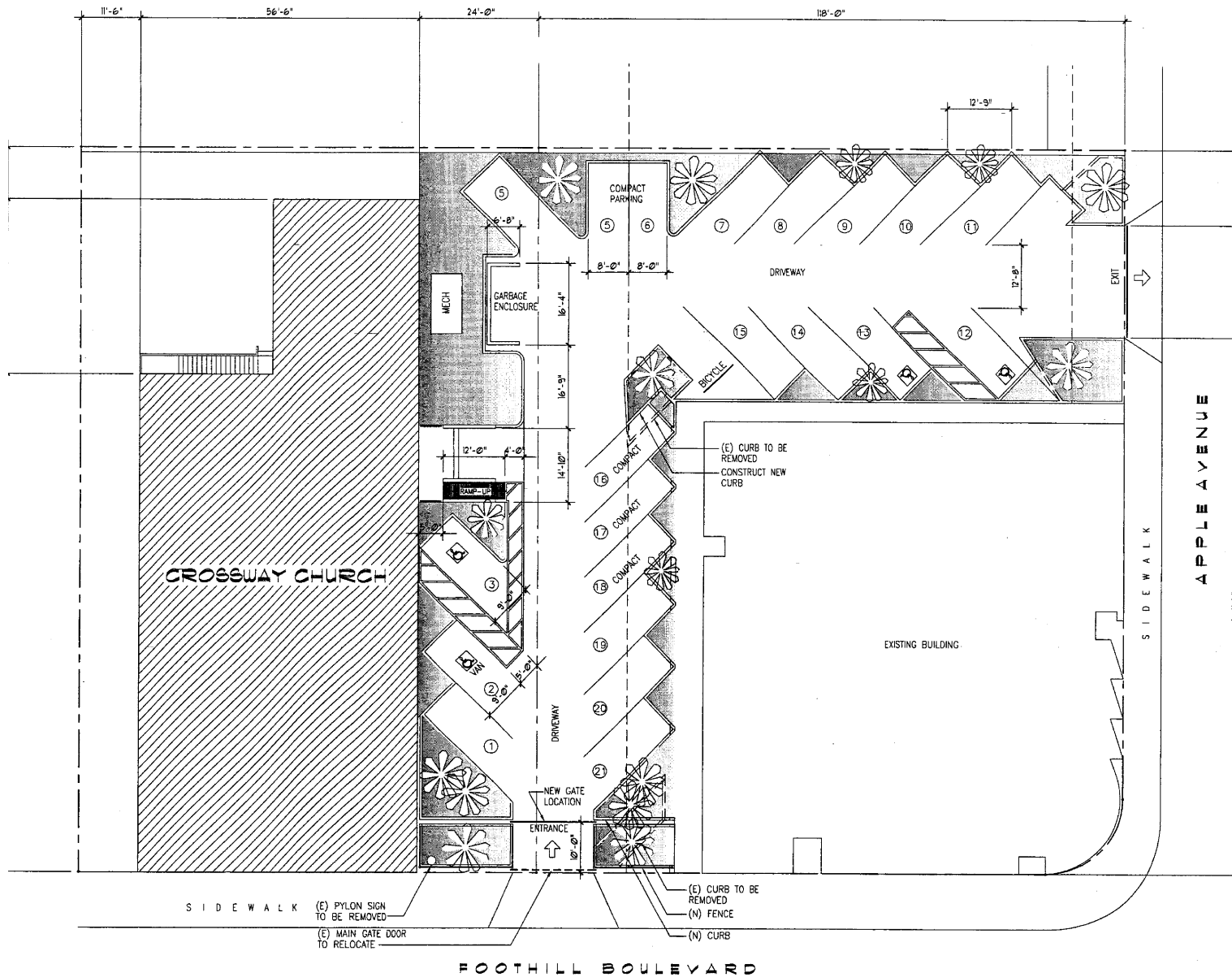
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APR 25 2002

PLANNING DIVISION

Project #  
PL-2002-0268 AUP



# ARCHITECTURAL SITE PLAN

SCALE: 3/32"=1'-0"

REVISION:	DATE:



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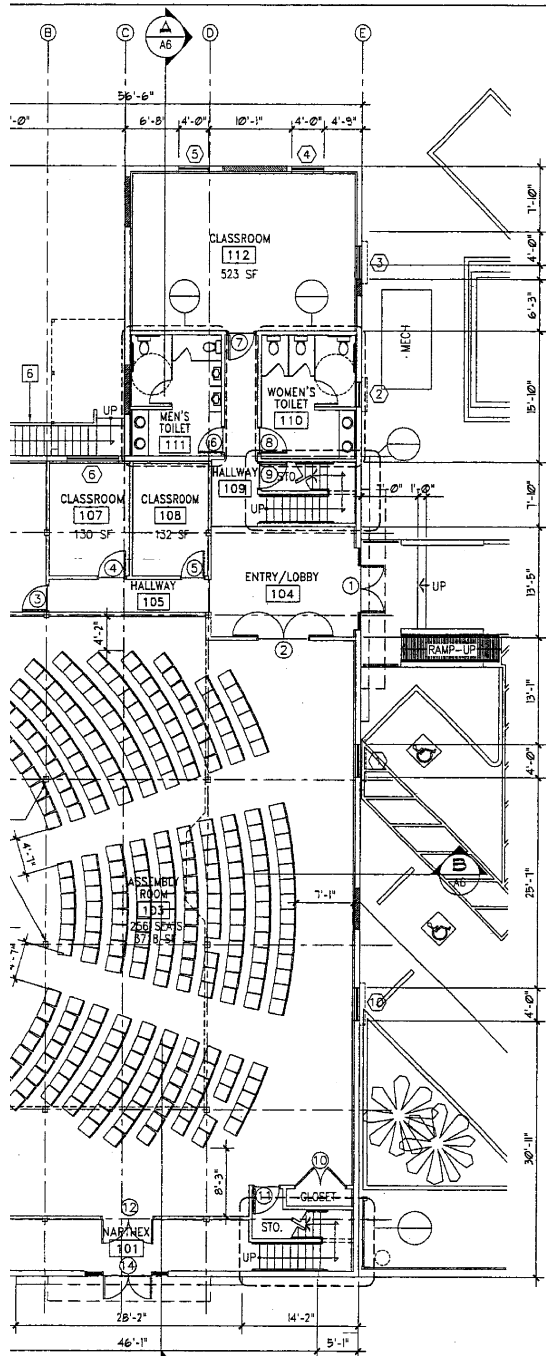
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PROPOSED EDUCATIONAL BLDG. REMODEL  
FOR CROSSWAY CHURCH

PROJECT LOCATION :  
21353 FOOTHILL BLVD. HAYWARD CA 94541

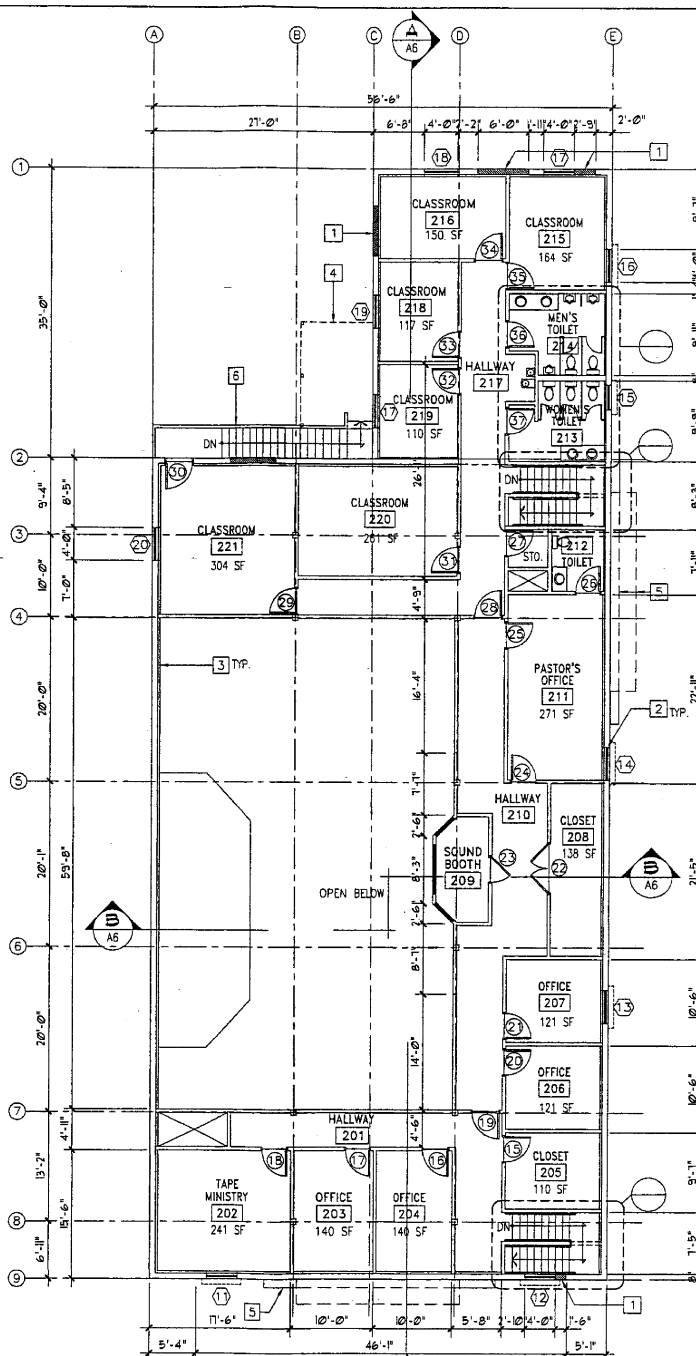
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ARCHITECTURAL SITE PLAN

DRAWN BY: RDM/GBN	DATE: 03-27-03
CHECKED BY: 	RELE: AS SHOWN

SHEET:  
A1  
2 OF 7



**IN FLOOR PLAN**  
1/8"=1'-0"



**UPPER FLOOR PLAN**  
SCALE: 1/8"=1'-0"

ROOM FINISH SCHEDULE									
NO.	NAME	FLR	BASE	N	E	S	W	MAT	REMARKS
<b>MAIN FLOOR</b>									
101	NARTHEX	CPT	WB	GW1	-	GW1	GW1	AS	
102	STORAGE ROOM	VCT	-	GW2	GW1	GW1	GW1	GC1	
103	ASSEMBLY ROOM	CPT	WB	GW2	GW2	GW2	GW2	GC1	
104	ENTRY/LOBBY	CT	WB	GW1	GW1	GW1	GW1	AS	
105	HALLWAY	CPT	WB	GW1	GW1	GW1	GW1	AS	
106	NURSERY	VCT	WB	GW1	GW1	GW1	GW1	AS	
107	CLASSROOM	VCT	WB	GW1	GW1	GW1	GW1	AS	
108	CLASSROOM	VCT	WB	GW1	GW1	GW1	GW1	AS	
109	HALLWAY	CPT	WB	GW1	GW1	GW1	GW1	AS	
110	WOMEN'S TOILET	CT1	-	GW1	GW1	GW1	GW1	AS	
111	MEN'S TOILET	CT1	-	GW1	GW1	GW1	GW1	AS	
112	CLASSROOM	VCT	WB	GW2	GW1	GW2	GW2	AS	
<b>UPPER FLOOR</b>									
201	HALLWAY	CPT	WB	GW1	GW1	GW1	GW1	AS	
202	TAPE MINISTRY	CPT	WB	GW1	GW2	GW2	GW1	AS	
203	OFFICE	VCT	WB	GW1	GW2	GW2	GW1	AS	
204	OFFICE	VCT	WB	GW2	GW1	GW1	GW1	AS	
205	CLOSET	VCT	WB	GW2	GW1	GW1	GW1	AS	
206	OFFICE	VCT	WB	GW2	GW1	GW1	GW1	AS	
207	OFFICE	VCT	WB	GW2	GW1	GW1	GW1	AS	
208	CLOSET	VCT	WB	GW2	GW1	GW1	GW1	GC1	
209	SOUND BOOTH	VCT	WB	GW1	GW1	GW1	GW1	GC1	
210	HALLWAY	CPT	WB	GW1	GW1	GW1	GW1	AS	
211	PASTOR'S OFFICE	CPT	WB	GW2	GW1	GW1	GW1	AS	
212	TOILET	CT1	-	GW1	GW1	GW1	GW1	AS	
213	WOMEN'S TOILET	CT1	-	GW1	GW1	GW1	GW1	AS	
214	MEN'S TOILET	CT1	-	GW1	GW1	GW1	GW1	AS	
215	CLASSROOM	VCT	WB	GW2	GW1	GW1	GW2	AS	
216	CLASSROOM	VCT	WB	GW1	GW1	GW2	GW2	AS	
217	HALLWAY	CPT	WB	GW1	GW1	GW1	GW1	AS	
218	CLASSROOM	VCT	WB	GW1	GW1	GW2	GW1	AS	
219	CLASSROOM	VCT	WB	GW1	GW1	GW2	GW2	AS	
220	CLASSROOM	VCT	WB	GW1	GW1	GW2	GW2	AS	
221	CLASSROOM	VCT	WB	GW1	GW1	GW2	GW2	AS	

UPPER FLOOR									
201	HALLWAY	CPT	WB	GW1	GW1	GW1	GW1	AS	
202	TAPE MINISTRY	CPT	WB	GW1	GW2	GW2	GW2	AS	
203	OFFICE	VCT	WB	GW1	GW2	GW1	GW1	AS	
204	OFFICE	VCT	WB	GW2	GW1	GW1	GW1	AS	
205	CLOSET	VCT	WB	GW2	GW1	GW1	GW1	GC1	
206	OFFICE	VCT	WB	GW2	GW1	GW1	GW1	AS	
207	OFFICE	VCT	WB	GW2	GW1	GW1	GW1	AS	
208	CLOSET	VCT	WB	GW2	GW1	GW1	GW1	GC1	
209	SOUND BOOTH	VCT	WB	GW1	GW1	GW1	GW1	GC1	
210	HALLWAY	CPT	WB	GW1	GW1	GW1	GW1	AS	
211	PASTOR OFFICE	CPT	WB	GW2	GW1	GW1	GW1	AS	
212	TOILET	CT1	-	GW	GW1	GW1	GW1	AS	
213	WOMENS TOILET	CT1	-	GW	GW1	GW1	GW1	AS	
214	MENS TOILET	CT1	-	GW	GW1	GW1	GW1	AS	
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217	HALLWAY	CPT	WB	GW1	GW1	GW1	GW1	AS	
218	CLASSROOM	VCT	WB	GW1	GW1	GW2	GW1	AS	
219	CLASSROOM	VCT	WB	GW1	GW1	GW2	GW2	AS	
220	CLASSROOM	VCT	WB	GW1	GW1	GW2	GW2	AS	
221	CLASSROOM	VCT	WB	GW1	GW1	GW2	GW2	AS	

**FLOOR PLAN NOTES:**

- 1 INFILL EXISTING OPENING TO MATCH ADJACENT SURFACES.
- 2 SAWCUT EXISTING CMU WALL NEATLY AND INSTALL NEW WINDOW. SEE WINDOW SCHEDULE
- 3 1/2" THK. SHEETROCK OVER 2-1/2" FURRING CHANNEL WITH R-13 WALL INSULATION
- 4 EXISTING WOODEN STRUCTURE TO BE DEMOLISHED
- 5 CONSTRUCT NEW ORNAMENTAL FACADE
- 6 EXISTING STAIR TO REMAIN

REVISION:	DATE:



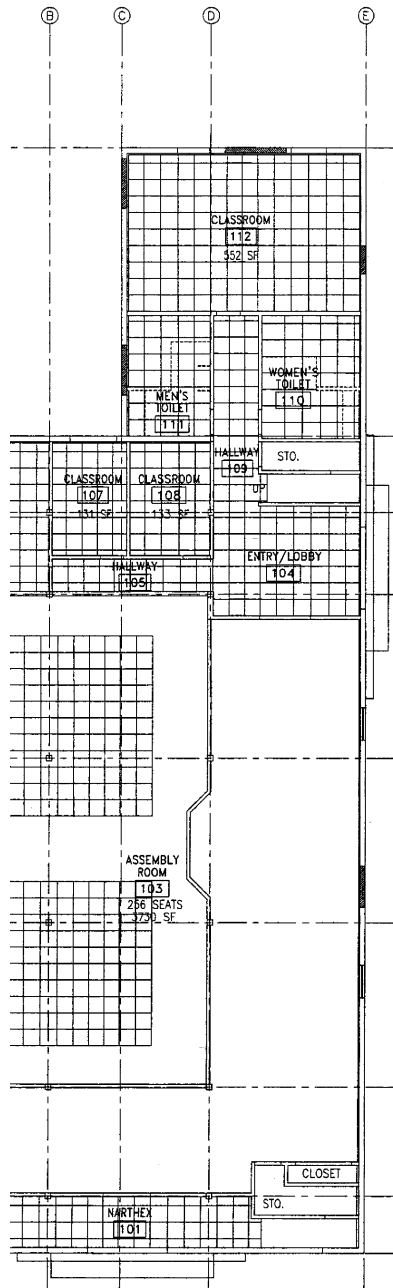
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PROJECT TITLE :  
PROPOSED EDUCATIONAL BLDG. REMODEL  
FOR CROSSWAY CHURCH

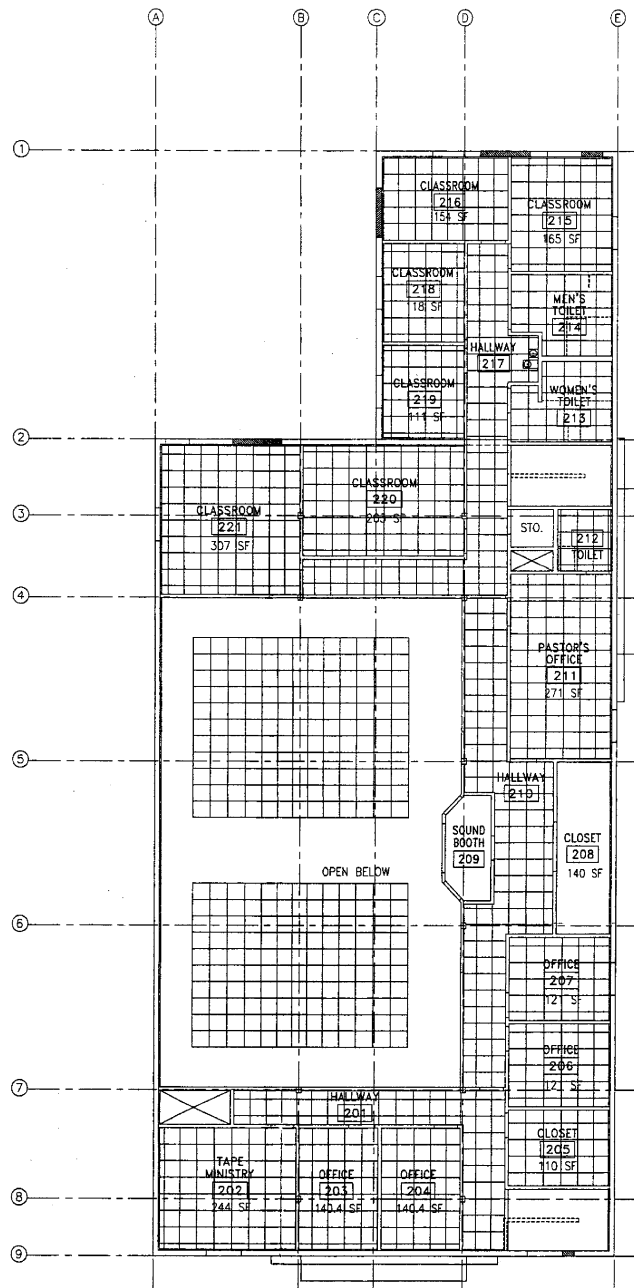
PROJECT LOCATION :  
21353 FOOTHILL BLVD. HAYWARD CA. 94541

SHEET TITLE:  
MAIN FLOOR AND UPPER FLOOR PLAN,  
ROOM FINISH SCHEDULE

DRAWN BY:	DATE:
RCM/CBN	03-27-03
CHECKED BY:	SCALE:
	AS SHOWN
SHEET:	
A3	
4	OF 7



REFLECTED CEILING PLAN



UPPER FLOOR REFLECTED CEILING PLAN



REVISION:	DATE:



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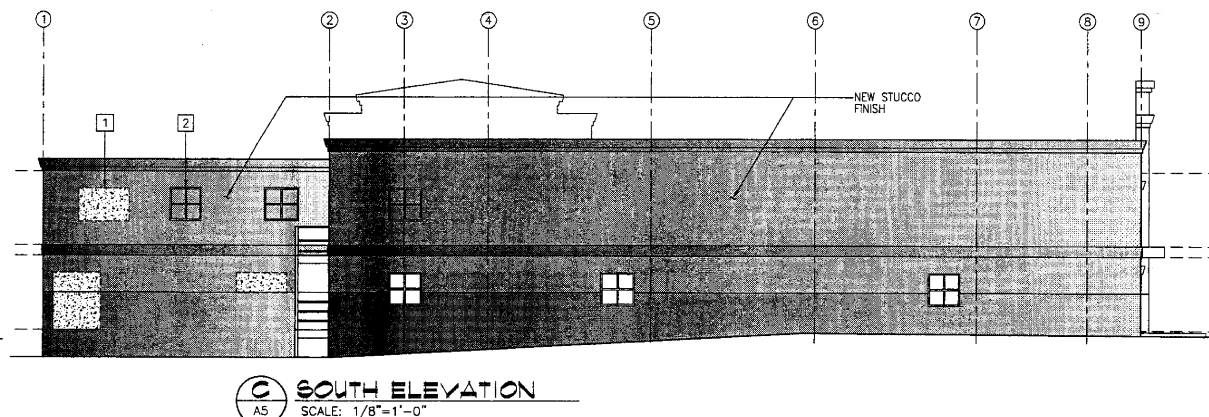
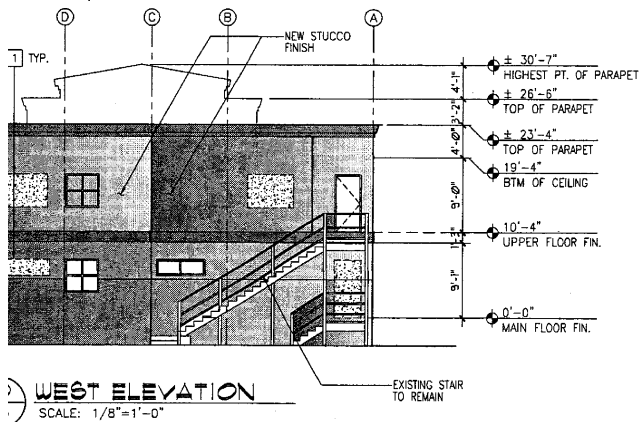
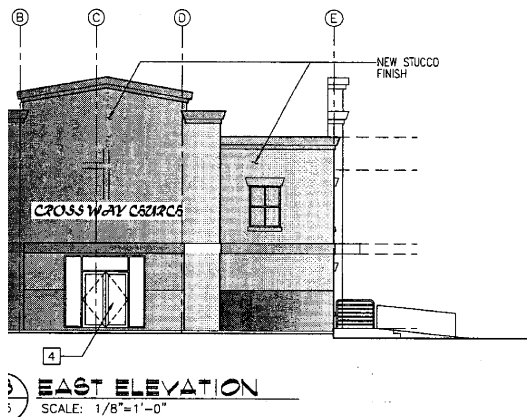
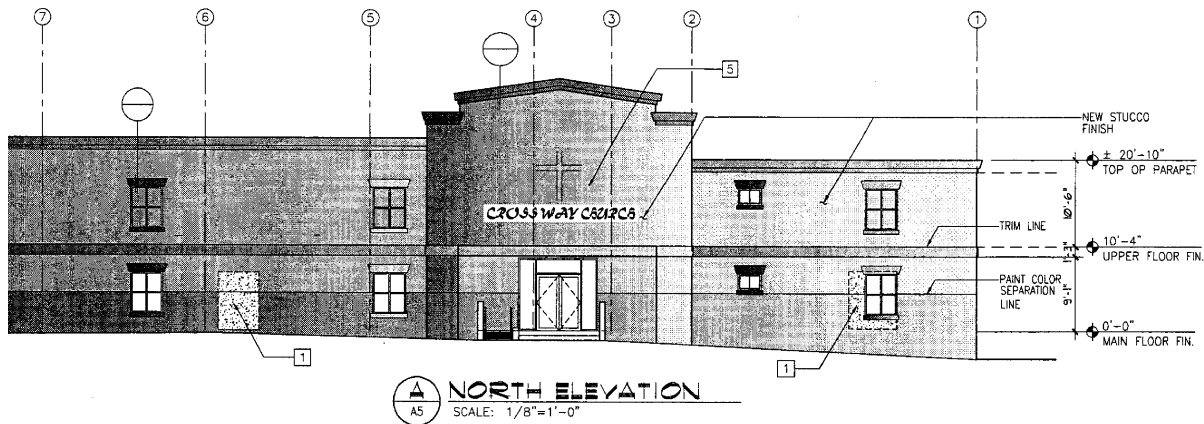
PROJECT TITLE :  
PROPOSED EDUCATIONAL BLDG. REMODEL  
FOR CROSSWAY CHURCH

PROJECT LOCATION :  
21533 FOOTHILL BLVD. HAYWARD CA 94541

SHEET TITLE:  
MAIN AND UPPER FLOOR  
REFLECTED CEILING PLAN

DRAWN BY: RDM/GBN	DATE: 03-27-03
CHECKED BY:	SCALE: AS SHOWN

SHEET:  
A4  
4 OF 7



### ELEVATION NOTES:

- 1 INFILL EXISTING OPENING TO MATCH ADJACENT SURFACES.
- 2 SAWCUT EXISTING CMU WALL NEATLY AND INSTALL NEW WINDOW, SEE WINDOW SCHEDULE
- 3 1/2" THK. SHEETROCK OVER 2-1/2" FURRING CHANNEL WITH R-13 WALL INSULATION
- 4 EXISTING STOREFRONT TO REMAIN
- 5 CONSTRUCT NEW ORNAMENTAL FACADE

REVISION:	DATE:



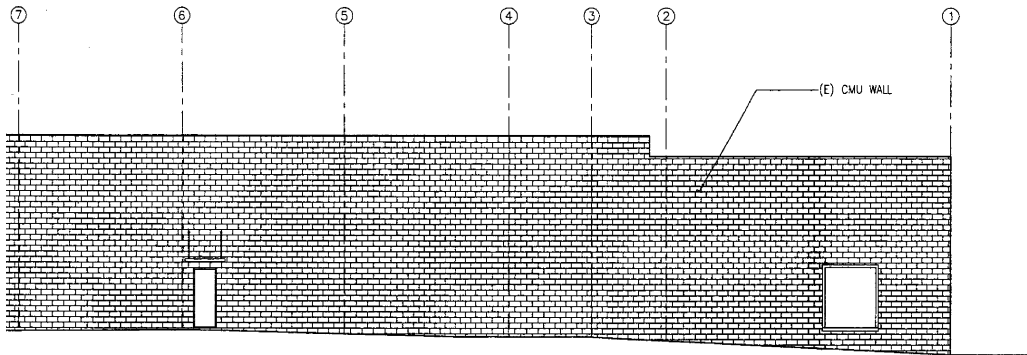
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PROJECT TITLE :  
PROPOSED EDUCATIONAL BLDG. REMODEL  
FOR CROSSWAY CHURCH

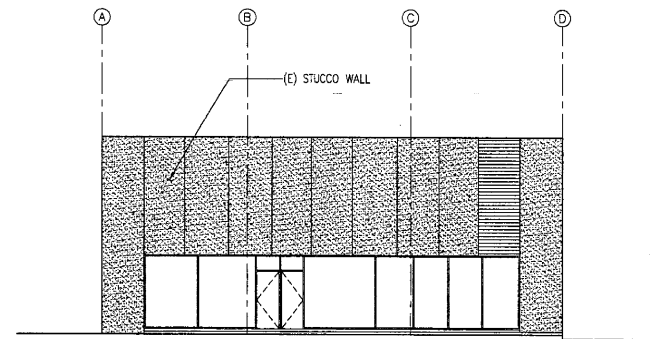
PROJECT LOCATION :  
21353 FOOTHILL BLVD. HAYWARD CA 94541

SHEET TITLE:  
BUILDING ELEVATIONS  
AND ELEVATION NOTES

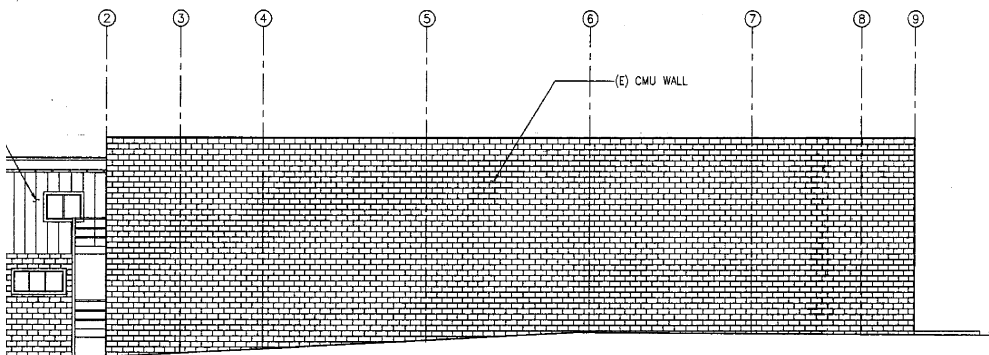
DESIGN BY: REM/GBN	DATE: 03-27-03
CHECKED BY:	SCALE: AS SHOWN
SHEET: A5 4 OF 6	



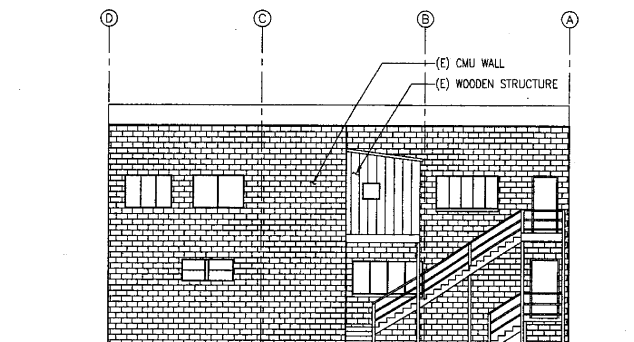
**A NORTH ELEVATION**  
A5.1 SCALE: 1/8"=1'-0"



**B EAST ELEVATION**  
A5.1 SCALE: 1/8"=1'-0"



**C SOUTH ELEVATION**  
A5.1 SCALE: 1/8"=1'-0"



**D WEST ELEVATION**  
A5.1 SCALE: 1/8"=1'-0"

REVISION:	DATE:



3335 SELDON CT.  
FREMONT, CA  
TEL: (510) 623-7100  
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PROJECT TITLE:  
PROPOSED EDUCATIONAL BLDG. REMODEL  
FOR CROSSWAY CHURCH

PROJECT LOCATION:  
21553 FOOTHILL BLVD. HAYWARD CA 94541

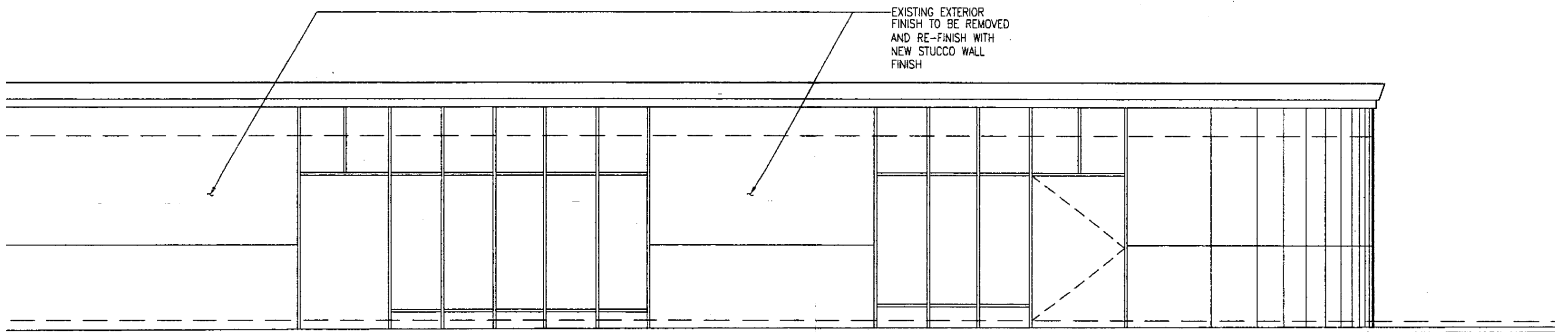
SHEET TITLE:  
EXISTING BUILDING ELEVATIONS

DRAWN BY: RDM/GBN	DATE: 03-27-03
CHECKED BY:	SCALE: AS SHOWN

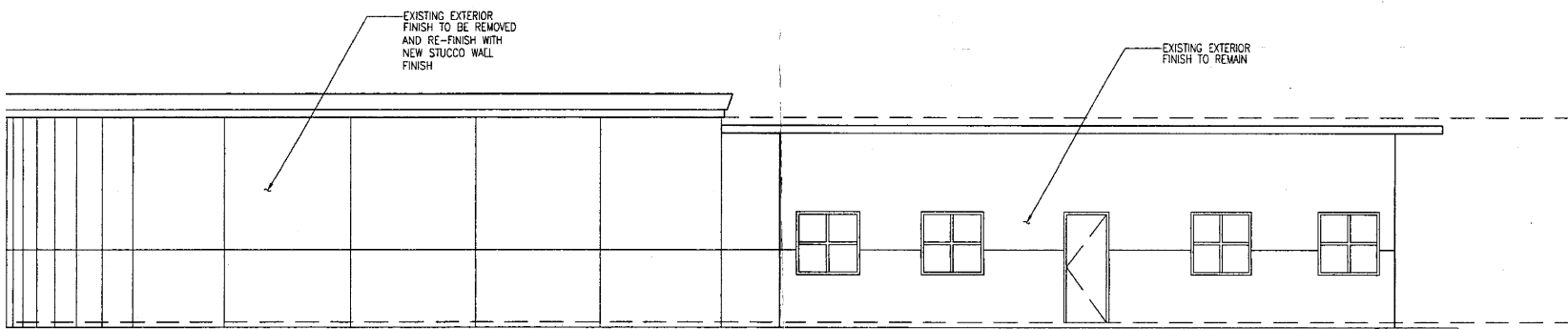
SHEET:  
**A5.1**  
4 OF 6



A9  
4 OF



**A BUILDING ELEVATION**  
A10 SCALE: 1/4"=1'-0"



**B BUILDING ELEVATION**  
A10 SCALE: 1/4"=1'-0"

REVISION:	DATE:



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PROJECT TITLE :  
PROPOSED EDUCATIONAL BLDG. REMODEL  
FOR CROSSWAY CHURCH

PROJECT LOCATION :  
71353 FOOTHILL BLVD. HAYWARD CA 94541

SHEET TITLE:  
EXISTING BUILDING ELEVATIONS

DRAWN BY:	DATE:
REM/GBN	03-27-03
CHECKED BY:	SCALE:
	AS SHOWN

SHEET:  
A10  
2 OF 7